

# Proposed Residential Development, Heiton, Scottish Borders

Author Bonnie Edgar-Nevill  
Project Number 65209209  
Project Name Heiton Residential  
Client Mark Graham  
Project Manager Bonnie Edgar-Nevill  
Controlled by  
Graeme Kelly  
Approved by  
Graeme Kelly

Transport Supporting Statement

## 1. Scope

Sweco was commissioned by Mr Mark Graham to prepare a transport statement in support of a new planning application for a single dwelling on a brownfield site in Heiton. This statement responds to concerns raised in response to a previous planning application, planning reference - 20/01327/FUL. It is worth noting, that although the previous planning application was refused, the prior application to that was approved, but lapsed before implementation.

Comments from the roads planning offer were based on Policy IS7 – Parking provision and standard and Policy PMD2 – Quality Standards.

The following four concerns were highlighted by Scottish Borders Council, which are addressed within this statement:

1. Access onto the public road is currently substandard for a 5th dwelling and it must be widened to 5.5m wide with 6m radii.
2. Visibility splays of 2.4m by 43m must be provided in either direction
3. This access to be surfaced with bound surface
4. Provision of visitor turning and parking within the cul-de-sac

The site location within context of the surrounding area is shown in **Figure 1**.

23/01065/FUL  
18.09.2023





Figure 1. Site location

## 2. Access onto the public road

In relation to access to the site via a public road, it is not considered that the access proposals present a road safety issue as previously indicated by the Council.

The access is long standing, and a review of crash map data for all years available (23 years) shows there have been no incidents at the junction, suggesting there is no existing or historical road safety concern. Additionally, space has been allocated in the northwest corner of the site to provide a turning head for all residents and visitors to ensure there is no need for vehicles to ever reverse onto the A698. The turning area proposed is shown in **Figure 2**, with swept path analysis for a 4x4 using the proposed turning area, in combination with an existing turning area to the north, is shown in **Figure 3**.

Additionally, in January 2023 the 20mph speed limit through Scottish Borders towns became permanent, this reduction in speed limit along the A698 will further improve the safety of the access, as it now connects to a low-speed environment within Heiton.

It should also be noted that the land either side of the existing access road is out with the applicants control and therefore there is no scope to widen this or alter existing radii.

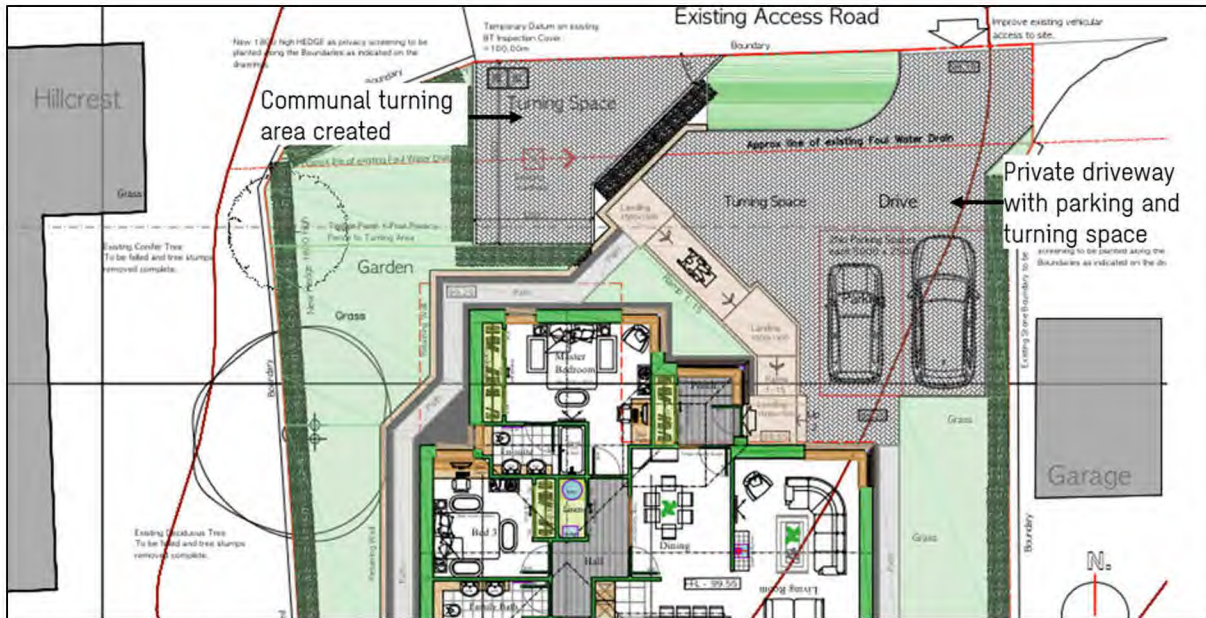


Figure 2. Turning area being delivered by the proposals.

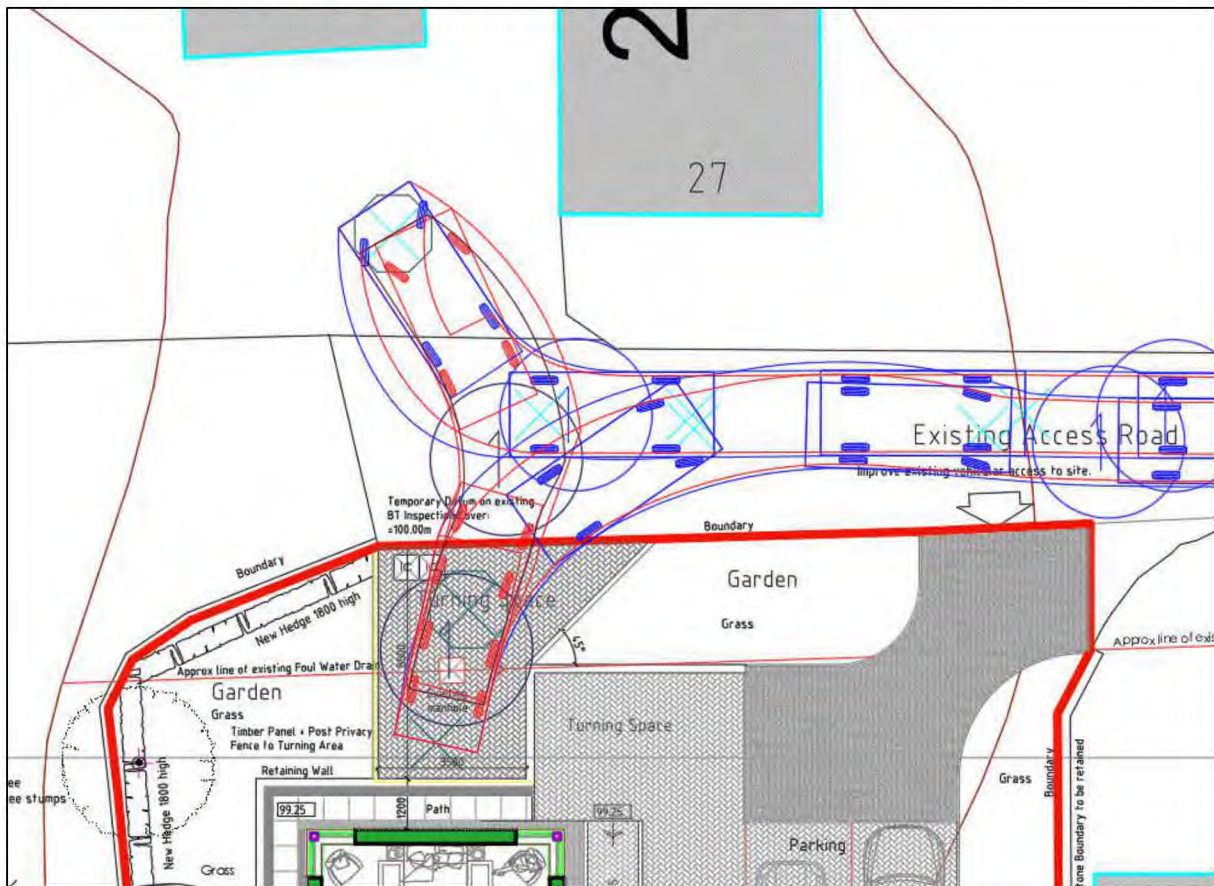


Figure 3. Swept path analysis of turning area.

While the site is mainly cleared, it does provide a small storage space for the owner, with trips being generated to and from the existing garage. Therefore, while there is not currently a house on the site, car trips are at times made to the site. Historically, the site was occupied by a private dwelling, at which time there were five

dwellings gaining access via the access road. The proposals would restore the land to its previous residential use, which is understood to have operated with no safety issues. The predicted number of generated trips is limited and therefore it is unlikely that there would be conflict between vehicles entering and exiting on the access road.

Proposed changes to the Local Development Plan (LDP) in relation to ‘Private Accesses’ would allow an increase in the number of dwellings access via a private access from four dwelling as per the current adopted plan, to five. Should the draft LDP be adopted without amendment to this is policy, the proposals would not require upgrading the access to an adoptable standard.

In reference to SCOTs National Roads Development Guide (Page 20, Paragraph 2.4.1), the guidance is as follows:

*“Generally 5 or fewer dwellings (more if a ‘brownfield site’, eg redeveloped farm steadings) will be served by a ‘private access’ which, as there is no right of public access, will not require Construction Consent and will not be available for adoption. Such layouts should provide adequate turning facilities and a satisfactory junction with a public road. The provision of a ‘private access’ must be indicated clearly at the planning application stage, otherwise it will be considered that a ‘road’ is being provided.”*

The proposed development therefore complies with national guidance, which indicates a private access is appropriate to serve five dwellings.

### 3. Visibility Splays

Since the previous application, the speed limit along the A698 has been reduced to 20mph, therefore reducing the required visibility splay. The permanent change to speed limits came into force in January 2023.

Upon discussions with Scottish Borders Council, it has been confirmed that a 2x25m visibility splay would be acceptable due to the roads reduced speed limit. As previously set out, the land adjacent to the junction onto the A698 is out with the applicant’s control. While, based on the points outlined within Section 2, it is not considered that there is a road safety issue with the access serving 5 dwellings, a possible option to improve the visibility at the junction would be to introduce traffic calming in the form of a small build out or paint markings south and north of the junction. An indicative layout of this potential build out is provided in **Appendix 1**.

### 4. Access surface

The Council requested that the access road be bound within their consultation response to application 20/01327/FUL. The access road is jointly owned between all dwellings gaining access thereon, therefore the access is neither in control nor fully the responsibility of the applicant. The route is currently in good condition and the semi-bound surface is fit for the level traffic. The surface quality is shown in **Figure 4**, as per May 2023.



**Figure 4.** Access Road as of May 2023

## 5. Parking and turning

Scottish Borders Council refer to their 'Placemaking and Design' guidance to define appropriate levels of parking. For parking within driveways or allocated space the number of spaces advised is two, with 0.25 for visitors. The development provides two spaces which is deemed appropriate and within the recommended range.

Additionally, an accessible turning area is proposed to the northwest of the dwelling to allow surrounding residents, visitors, and deliveries to turn within the cul-de-sac and enter and exit in a forward gear. The proposals therefore are compliant with guidance set out within IS7 regarding the provision of parking.

The layout of the parking is highlighted in **Figure 2**.

## 6. Summary

This statement was prepared in support of a planning application for a residential dwelling in Heiton. The note addresses concerns with the site raised by Scottish Borders Council on a previous application on the site. These are summarised below:

**Access Road:** It is not believed a widened access is required. The existing access has no history of road safety issues and previously served the site when it had a dwelling on it. It has not been changed since the prior lapsed planning application for a single dwelling was approved. Furthermore, it is out with the applicants control to make alterations to the access, however a communal turning area will be created.

**Visibility Splay:** Since the previous application, the speed limit of the road has reduced to 20mph reducing the visibility requirements at the access, this has been confirmed with the Council that 2x25m is acceptable. There is potential to deliver either painted markings or a small build out to the south and north for the access road, which would act as both traffic calming and allow for a suitable visibility splay to be achieved.

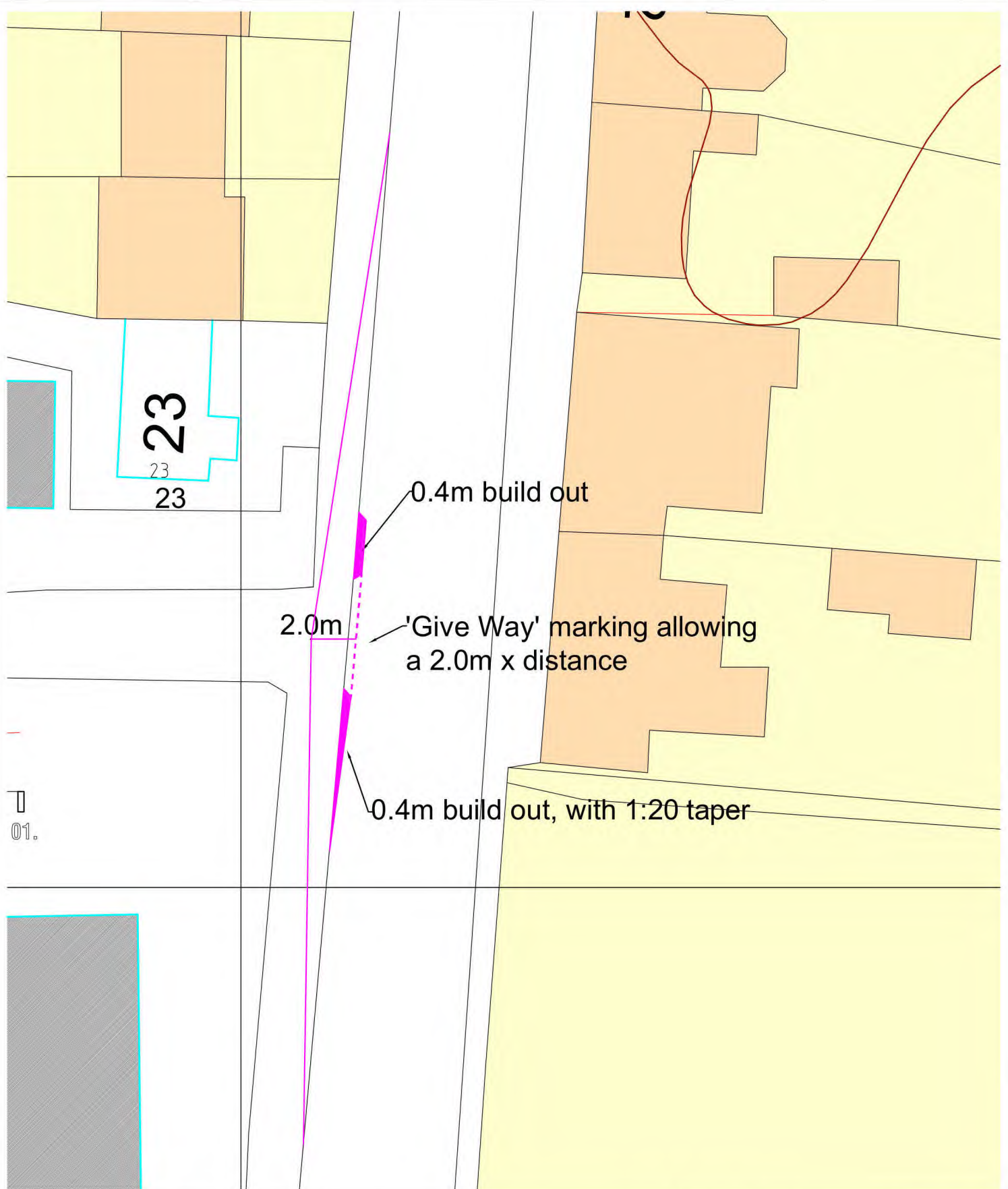
**Access surface:** The existing access operates well without safety concern. It is not believed that a full resurfacing is required, additionally, It is out with the applicants control or responsibility to fully bind this surface.

**Parking and turning:** Adequate parking and turning has been provided on site, including parking and a turning circle for the dwelling and a separate turning circle available for all residents.

If the Proposed Local Development Plan is approved, the number of dwellings which can be access from a private access will increase to 5. Should this become policy, the required upgrades to the access road and junction will no longer be applicable.

## Appendix 1

### Potential build-out



01.

Client  
**Mr and Mrs Graham**


Project Title  
**Heiton**

Drawing Title  
**Potential build out on Main Street to deliver 2.0mx25m visibility splay**

Rev	Date	Amendment Details	Dr'n	Chk'	App'
P01	18.05.2023	FIRST ISSUE	BE-N	RE	GK

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Purpose Of Issue  
**PRELIMINARY**

Status	Status Description
S0	INITIAL STATUS OR WIP

Drawn	Designed	Checked	Approved
BE-N	GK	RE	GK

Sheet Size	Scale	Sweco Ref	Revision
A4	NTS	65209209	P01

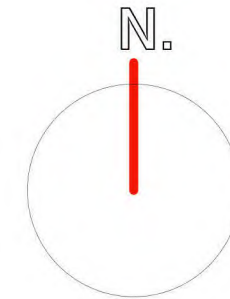
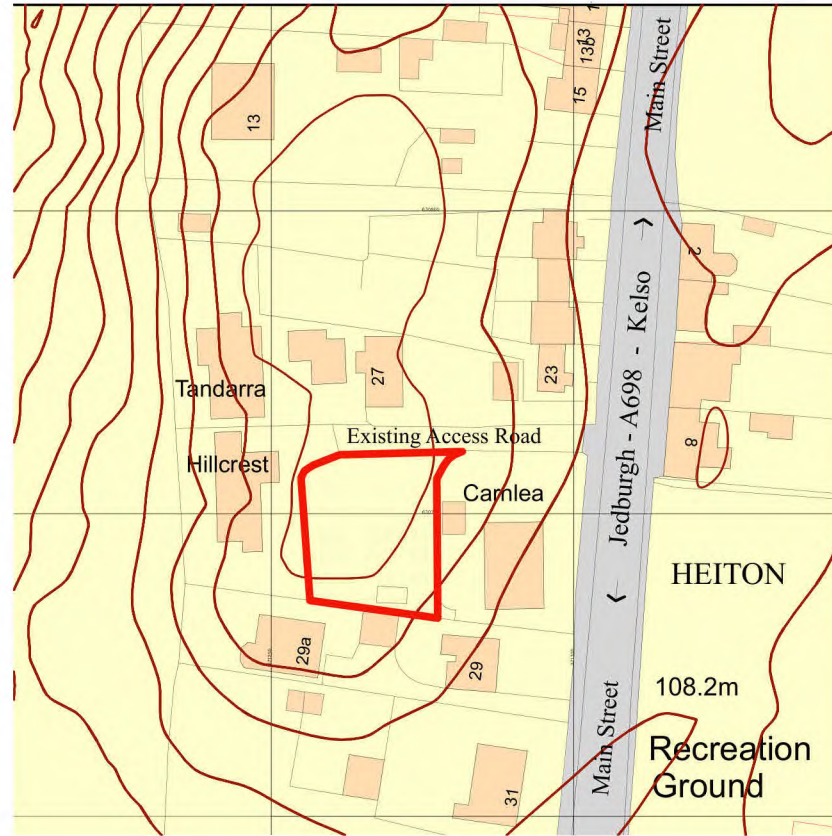
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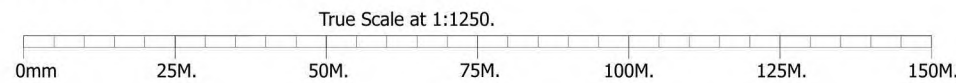
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# Location Plan.

Scale: 1:1250 @ A3.



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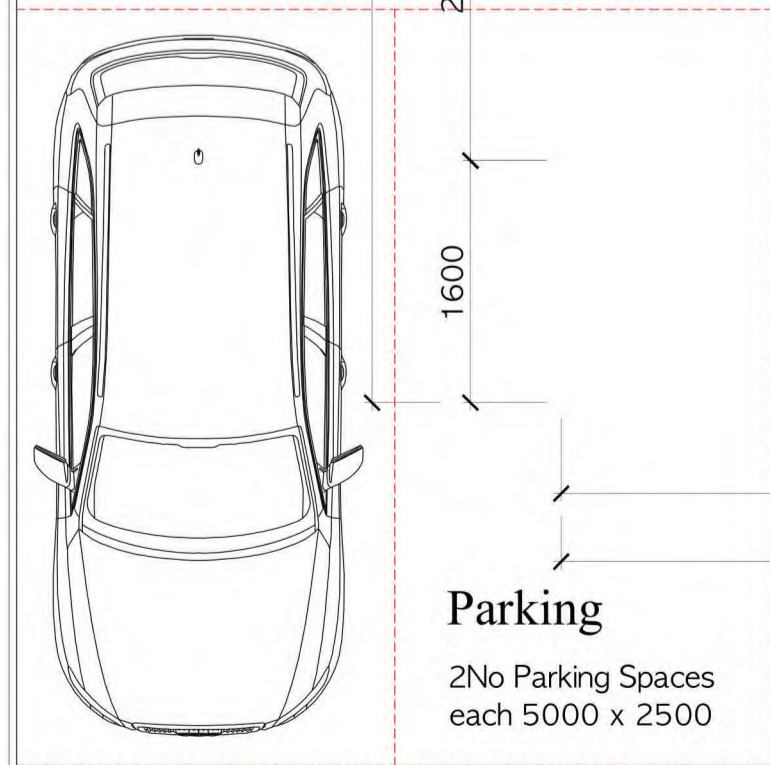
**NORTH Elevation FRONT**  
Scale : 1 : 50.

**MATERIALS PALLET:**

REF. No:	DESCRIPTION:
1.	Natural Stone basecourse as indicated on Elevations.
2.	External walls to be covered with Derbyshire Spar Render.
3.	Reinforced Pre-cast concrete sill: Colour - Portland.
4.	200mm wide Plain Cement bands and 100mm wide ingoes + feature panels: Colour - Portland.
5.	Roof Finish: CEDRAL Trutone Textured Fibre cement slates: Colour - Blue-Black.
6.	Fascias, Soffits + Barge Boards: MARLEY Eternit plain fibre cement cladding: colour - Grey Slate.
7.	LINDAB Metal Rainwater Goods: 125mm half round gutters + 75mm ø downpipes: Colour Dark Grey
8.	Lead Flashings, Valley Gutters etc minimum Code 5: Colour - Natural.
9.	Double Glazed Powder coated aluminium Windows: Colour - Dark Grey RAL 7015
10.	Double Glazed Hardwood External doors + Glazed Screens.
11.	VELUX Double Glazed Top Hung Roof Window, size 780w x 1398h each
12.	FLUE from Log Burner: Twin Wall Stainless Steel metal flue: Natural.
13.	13-14 VELUX Double Glazed Combination Windows, Cprising 1 No VELUX Double Glazed centre pivot Roof Window, size 942w x 1178h + 1 No VELUX Double Glazed top hung Vertical window element, size 942w x 942h,
15.	Obscure Glazing



**FLOOR Plan.**  
Scale : 1 : 50.



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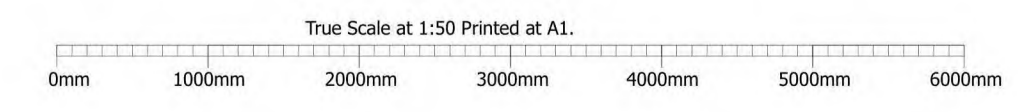
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Project Address:  
**Proposed Bungalow at:**  
**27, Main Street,**  
**HEITON,**  
**Kelso, Scottish Borders,**  
**TD5 8JR.**

Client Name:  
**for Mr + Mrs Graham**

Drawing Title:  
**PLANNING:**  
**FLOOR Plan NORTH Elevation**

Drawn By: John H Patterson.	Project Ref Number: PDK-23-169
Date: 14th May 2023	Drawing Number: 001
All dimensions are in millimeters	Suffix:
All dimensions to be checked on site	



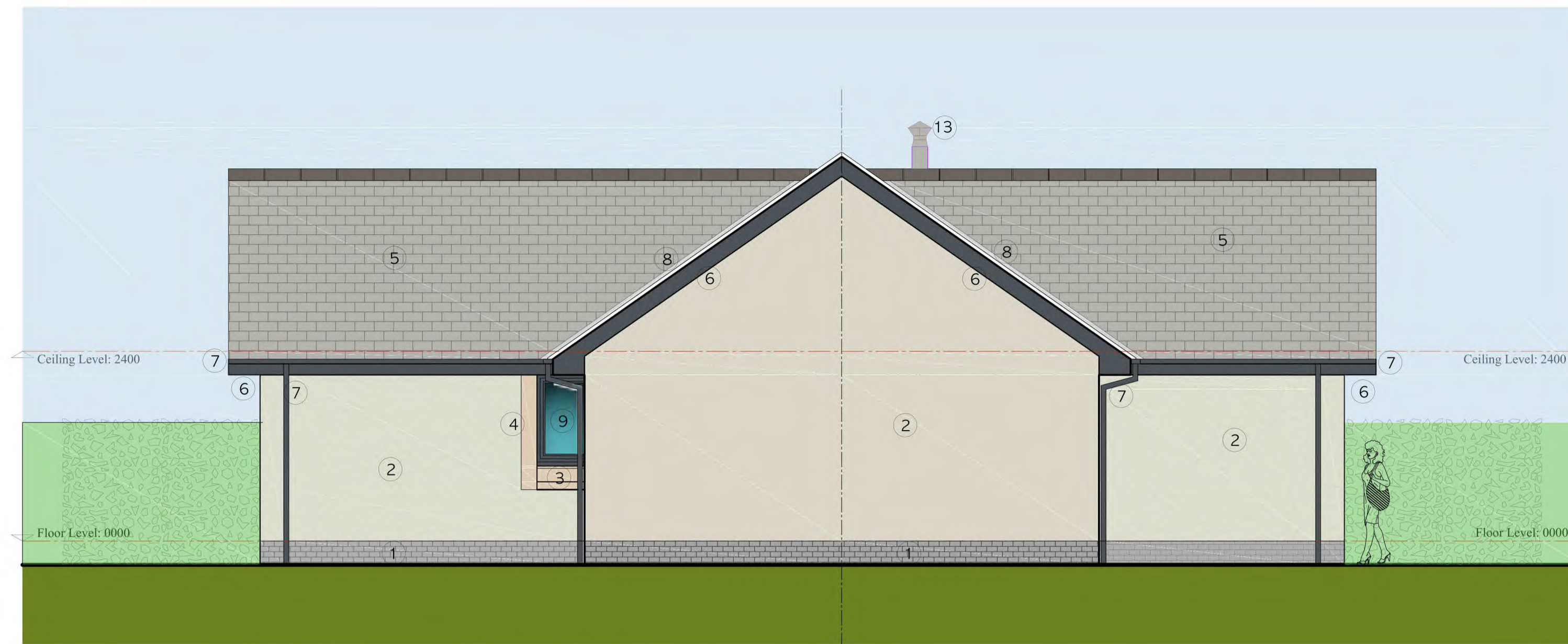
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15.	Obscure Glazing



**WEST Elevation SIDE**  
Scale : 1 : 50.



**EAST Elevation SIDE**  
Scale : 1 : 50.



**SOUTH Elevation REAR**  
Scale : 1 : 50.

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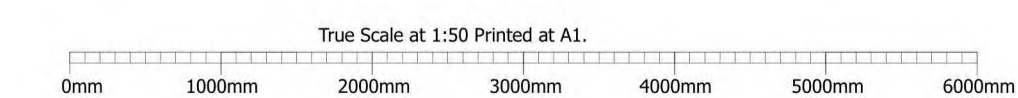
Client Name:  
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Drawing Title:  
**PLANNING:**  
**SOUTH, EAST + WEST Elevations**

Drawn By:    Project Ref Number:  
John H Patterson.    PDK-23-169

Date:    Scale:    Drawing Number:  
14th May    1:50 @ A1    002  
2023

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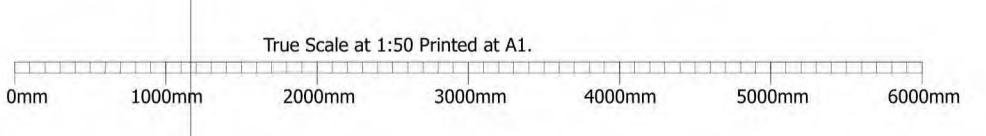
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Client Name:  
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Drawing Title:  
**PLANNING:  
SITE Layout Plan**

Drawn By: John H Patterson.	Project Ref Number: PDK-23-169
Date: 14th May 2023	Scale: 1:50 @ A1
Drawing Number: 003	
All dimensions are in millimeters	
All dimensions to be checked on site	

SITE AREA = Approx 553m<sup>2</sup>  
Approx 0.055ha



New 1800 high HEDGE as privacy screening to be planted along the Boundaries as indicated on the drawings.

Garage

SITE WORKS: HARD LANDSCAPING

DRIVEWAY, PARKING, TURNING SPACE, RAMP and FOOTPATHS PERMEABLE CONSTRUCTION

**SS. Excavations:**  
 Excavate for Drive, Parking, Turning Space and footpaths as shown on drawings.  
 Supply and install precast concrete edgings to BS EN 1340 size 150 x 50 x 915mm to Drive, Parking and Turning Space, as indicated on the drawings.  
 Bedding and backing of units, either of the following:  
 Bedded on mortar laid on hardened concrete base. Bedding mortar allowed to set and units secured with a continuous haunching of concrete.  
 Bedded on fresh concrete races to BS 7533-6, secured with backing concrete cast monolithically with concrete race.  
 Concrete for foundations and haunching:  
 Standard to BS 8500-2.  
 Designated mix: Not less than GEN10 or standard ST1 or better, low workability.  
 Mortar bedding 1:3 cement sand as section Z21.  
 Bed thickness 12 - 40mm.

**GRAVEL DRIVE, PARKING + TURNING SPACE:-**  
 From gravel drive with concrete edges as indicated on the plans.  
 Excavate to vehicular access road and footpaths as shown on drawings, to depths required for sub-base thickness as below:-  
 Sub-base to Drive, Parking and Turning areas be minimum 150mm thick granular sub-base.  
 Sub-base to footpaths to be minimum 100mm thick granular sub-base.  
 Granular material:  
 Crushed rock ( other than argillaceous rock ) or quarry waste with not more binding material than is required to help hold the stone together.  
 Natural gravel.  
 Natural sand.  
 No frost susceptible material.  
 Execution:-  
 Preparation/ compacting of subgrades:  
 Soft or damaged areas: Excavate and replace with sub-base material, compacted in layers 300mm thick ( maximum ).  
 Compaction: Thoroughly, by roller or other suitable means, adequate to resist subsidence or deformation of the subgrade during construction and of the completed pavings when in use. Take particular care to compact fully at intrusions, perimeters and where local excavation and backfilling has taken place.  
 Compaction of sub-base:  
 Preparation: Remove loose soil, rubbish and standing water.  
 Laying: Spread and level in layers. As soon as possible thereafter thoroughly compact each layer.  
 After compaction and immediately before overlaying, the sub-base must be uniformly well closed and free from loose material, cracks, ruts or hollows.  
 Binding:-  
 Finish: Vibrate to provide a close, smooth surface.  
 Protection:-  
 Sub-bases: As soon as practicable, cover with subsequent layers, specified elsewhere.  
 Prevent degradation by construction traffic, construction operations and inclement weather.  
 Geotextile sheet:  
 Lay geotextile sheet overlay, over binding coarse, fit neatly at edge restraints and other features. e.g. drainage fittings, channels, manholes and kerbs.  
 Width: 1.000mm ( minimum ).  
 FINISHES:-  
 DRIVE  
 Bonded chippings: Standard: to BS EN 13043.  
 General: Loose laid and raked to a uniform 50mm thickness  
**PARKING, TURNING AREAS and RAMP:-**  
 Parking + Turning Area: Ramp  
 To be finished with Permeable Finish, MARSHALLS Driveline Piora ( colour Charcol ) size 200 x 100 x 60mm thick sets laid in a regular pattern, or similar approved. Laid on a 50mm thick laying coarse 6-2mm open graded crushed rock.  
 Compaction:  
 Compaction should be undertaken with a plate vibrator. Prior to final compaction of the surface, joints should be filled with the same grading of materials as that used for the laying course.  
**PERMEABLE AREAS to perimeters of HOUSE and PATHS:**  
 Minimum 200mm wide, positioned as indicated on site layout.  
 Formed with minimum 300mm thick recycled crushed stone to dust, on imported graded 40mm to dust and finished with 50mm thick gravel, to drive as indicated, colour to be agreed.

**PAVING:**  
 Including FOOTPATHS and PATIO AREAS  
 Form concrete flag paving with concrete edges as indicated on the plans.  
 Standards: Concrete flags 600x600x38mm to BS EN 1338  
 Laying course sand or sand bedded concrete flags to BS 7533-4 maintained at even moisture content that will give maximum compaction.  
 Execution:-  
 Sub-base: 100mm thick all as specified above,  
 Binding: all as above.  
 Geotextile sheet: all as above.  
 Laying pavings general: Appearance, smooth and even with regular joints and accurate to line, level and profile.  
 Falls: To prevent ponding.  
 Bedding/ Laying course: Consistently and accurately graded, spread and compacted to produce uniform thickness and support for paving units.  
 Slopes: Lay paving units upwards from bottom of slopes.  
 Paving units: Free of mortar and sand stains.  
 Cutting: Cut units cleanly and accurately, without spalling, to give neat junctions with edgings and adjoining finishes.  
**PROTECTION:-**  
 Cleanliness: Keep paving clean and free from mortar droppings, oil and other materials likely to cause damage.  
 Materials storage: Do not overload pavings with stacks of materials.  
 Handling: Do not damage paving unit corners, arises or previously laid paving.  
 Access: Restrict access to paved areas to prevent damage from site traffic and plant.

**SOFT LANDSCAPING**  
**GRASSED AREAS:**  
 The Ground Areas around the new dwelling house that is not detailed under hard landscaping above.  
 Reuse existing top soil removed from excavations to house and drive. Should top soil have to be imported, this shall be to BS 3882 with classification of slightly stony, or less. No stone greater than 50mm in any dimension shall be acceptable. Cover areas as required round house and to edges of new drive and finish with turf.  
 Topsoil shall be spread and lightly rolled to a finished compacted thickness of 150mm for seeding and 100mm for turfing, all grassed areas to be initially set to a level 40mm above adjacent kerbs/edgings to allow for compaction. Areas to be turfed, turves shall comply with BS 3969. They shall be laid to bond and tamped into topsoil bed. The contractor shall ensure that the grass is properly and regularly watered and cut, and cleared of grass cuttings to ensure proper growth.  
**PRIVACY SCREENING:**  
 1800mm high new HEDGE privacy screen, to be planted along the East and North boundaries, as indicated on the plans.  
**BIN STORAGE AREA:-**  
 Form Bin Storage Area as follows:-  
 Form hard standing with paving, all as specified above under PAVING.  
 Erect new treated timber post and timber panel fence 1800mm high, to 3 sides of the Bin Storage area, as indicated on the plans.

**FLOOR AREA:**  
 All floor areas are measured net internal in Square Meters.  
 FLOOR AREA - 127 m<sup>2</sup>

**FLOOR LEVELS:**  
 Provisional Floor Levels as follows, subject to on site check.  
 DATUM existing inspection cover as indicated on Site Layout Plan.  
 DATUM - 100.000m  
 FLOOR LEVEL - 99.550m  
 GROUND LEVEL at House perimeter- 99.250m

**SITE AREA:**  
 Approximately - 553 m<sup>2</sup>  
 - 0.055 ha  
 - 0.136 Acre

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Rev:	Date:	Int:	Amendment:

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Project Address:  
**Proposed Bungalow at:**  
**27, Main Street,**  
**HEITON,**  
**Kelso, Scottish Borders,**  
**TD5 8JR.**

Client Name:  
**for Mr + Mrs Graham**

Drawing Title:  
**PLANNING:**  
**BLOCK Plan**

Drawn By:  
 John H Patterson.

Project Ref Number:  
 PDK-23-169

Date:  
 14th May 2023

Scale:  
 1:50 @ A1

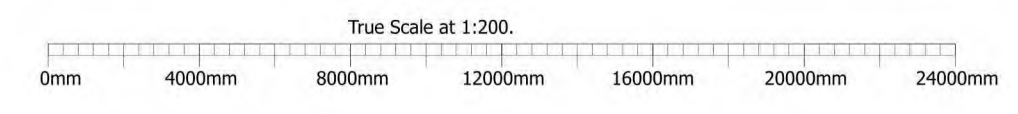
Drawing Number:  
 004

All dimensions are in millimeters  
 All dimensions to be checked on site



BLOCK PLAN

Scale: 1 : 200 @ A1  
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23/01065/FUL  
 18.09.2023

**Scottish Borders Council**  
**Town And Country**  
**Planning (Scotland) Act**  
**1997**

**REFUSED**  
 subject to the requirements of the associated Decision Notice

**Scottish Borders Council  
Town And Country  
Planning (Scotland) Act  
1997**

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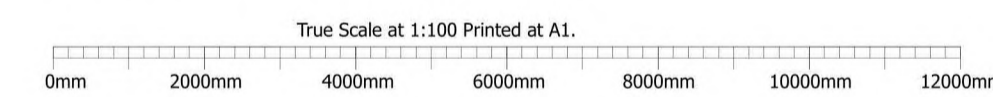
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**SECTION 01 - 01**

Scale : 1 : 100.



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**TD5 8JR.**

Client Name:

**for Mr + Mrs Graham**

Drawing Title:

**PLANNING:**  
**SECTION Through SITE**

Drawn By:

John H Patterson.

Project Ref Number:

PDK-23-169

Date:  
14th May  
2023

Scale:  
1:100 @ A1

Drawing Number:  
005

All dimensions are in millimeters

Suffix:

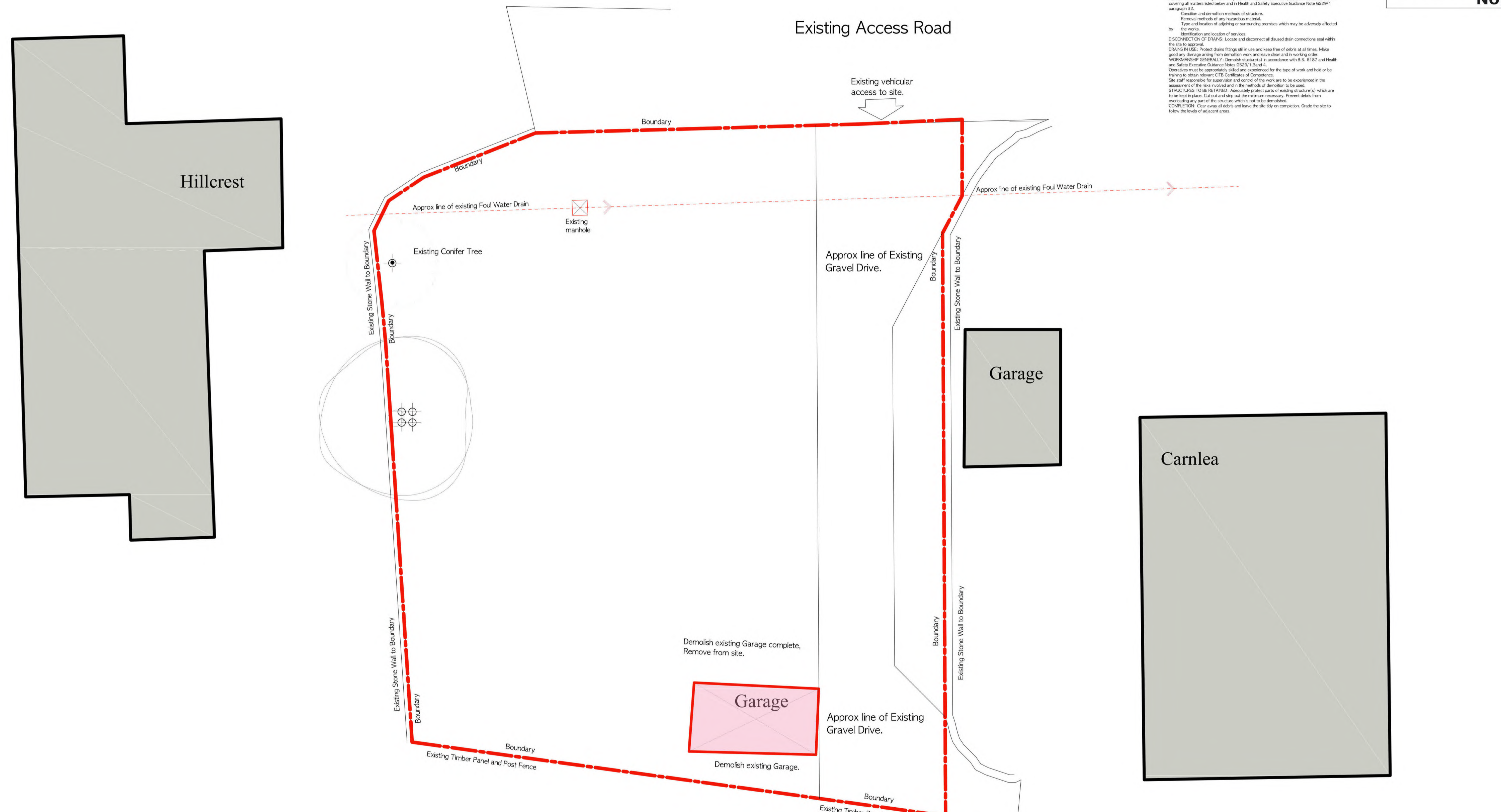
All dimensions to be checked on site

**Scottish Borders Council  
Town And Country  
Planning (Scotland) Act  
1997**

**REFUSED**

**subject to the  
requirements of the  
associated Decision  
Notice**

**NOTE:**  
**DEMOLITIONS**  
SURVEY: Before starting work, carry out a survey and submit a report and method statement covering all matters listed below and in Health and Safety Executive Guidance Note GS28/1 paragraph 32.  
Condition and demolition methods of structure.  
Removal methods of any hazardous materials.  
Type and location of adjoining or surrounding premises which may be adversely affected by the work.  
DISCONNECTION OF DRAINS: Locate and disconnect all disused drain connections and seal with the risk in mind.  
DRAINAGE: Protect drains (rings) all in use and keep free of debris at all times. Make good any damage arising from demolition work and leave clear and in working order.  
WORKMANSHIP GENERALLY: Demolish structures in accordance with B.S. 6187 and Health and Safety Executive Guidance Notes GS28/1, 3 and 4.  
Overseers must be appropriately skilled and experienced for the type of work and hold or be training to obtain relevant C18 Certification of Competence.  
STRUCTURES TO BE REMOVED: Advise and protect parts of existing structures which are to be kept in place. Cut out and strip out the minimum necessary. Present debris from demolishing any part of the structure which is not to be demolished.  
COMPLETION: Clear away all debris and leave the site tidy on completion. Grade the site to follow the levels of adjoining works.



**Existing Site + Demolition Plan.**

Scale : 1 : 100.  
True Scale at 1:100 Printed at A1.  
0mm 2000mm 4000mm 6000mm 8000mm 10000mm 12000mm

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Client Name:  
**for Mr + Mrs Graham**

Drawing Title:  
**Planning:  
Site Pan as Existing + Demolition Plan**

Drawn By: John H Patterson.	Project Ref Number: PDK-23-169
Date: 14th May 2023	Scale: 1:100 @ A1
	Drawing Number: 006
All dimensions are in millimeters	Suffix:
All dimensions to be checked on site	